



April 2, 2026

ADDENDUM NO: 1

Projects: Little Village RAD Modernization and Site Improvements

The following items are in reference to and shall be made part of the plans issued for bid for the Little Village RAD improvements. Any discrepancies between this information and the issued plans shall be reported to the Architect for additional clarification.

#### General

- Item 1: Contractor is responsible for removal and disposal of debris left by tenants prior to starting work.
- Item 2: Refer to IFB, LIQUIDATED DAMAGES. Delete in its entirety and insert the following: If the Contractor fails to complete the work within the time specified in the contract, or an extension of said contract, the Contractor shall pay to the Owner as liquidated damages, the sum of \$120.00 per unit for each day of delay until Certificate of Occupancy is issued.
- Item 3: Refer to IFB, LIST OF COMPLIANCE DOCUMENTS TO BE SUBMITTED WITH BID, "Subcontractors List including DIR registration number". Delete the following references: Including DIR registration number.
- Item 4: RFI's shall be submitted via email to [mruiz@kernha.org](mailto:mruiz@kernha.org). Responses will be posted via Addendum on the website [www.kernha.org](http://www.kernha.org).
- Item 5: General Contractor shall carry Builder's Risk insurance throughout the duration of the project. Builder's Risk must be for the full contract amount, plus soft cost which is estimated to be approximately seven million dollars (\$7,000,000.00).
- Item 6: General Contractor will be responsible for providing security throughout the duration of the project.
- Item 7: Contractors wanting to visit the site shall contact Mark Duran to make arrangements. Mark can be reached at 661-706-0715.

#### Site Improvements

- Item 1: Contractor shall mow all existing lawn areas prior to turning over completed units.
- Item 2: Contractor shall install new (5) gallon shrubs in all empty flower beds at (1) shrub per every (10sf). Shrubs shall be an equal mix of Big Red Kangaroo Paw and Dwarf Common Myrtle or equal. Bid shall itemize proposed square footage of planting area and number of shrubs proposed.
- Item 3: "Luce Solare" BLS-4A pole mounted solar lights shall be 22.6w, 5,700k, 3259lm with factory post bracket. Contractor shall provide 2-3/8"x13"x10 gauge poles welded to a 1/4" base plate and attached to concrete base with (4) 3/4" diameter x 18" anchor bolts. Footing shall be 2'-0" diameter x 5'-0" with (6) #5 verticals and #3 ties at 10" o.c. – Expose top 2'-0" of base above grade
- Item 4: Contractor shall include an additional (65) pole mounted solar light fixtures, poles and concrete bases per Item 3. Contractor shall provide itemized cost for each installed pole light. Final locations of all lights will be provided by the Owner.

- Item 5: Keynote 18 shall include removal of existing concrete walk and installation of new 72"x72" concrete landing at all unit entry doors and wrought iron gates where existing walkway does not provide required clearances.
- Item 6: Provide circular 6" concrete border between existing trees and new artificial turf is being installed.
- Item 7: All existing trees shall be trimmed per ANSI A300 standards as developed by the Tree Care Industry Association
- Item 8: All existing concrete wheel stops shall be removed and replaced with new to match. Anchor with rebar epoxied into concrete drive.
- Item 9: All new concrete shall be finished with a broom finish.
- Item 10: General Contractor shall provide design, engineering, permits and all components required for 50'x50'x12' high commercial grade canvas canopies over Playground and Common Area per sheet SI-8.0
- Item 11: New CMU wall between development and railroad tracks per keynote #6 on SI5-0 shall be 8x8x16 fully grouted block with wrought iron fencing per attached Diagram 1.
- Item 12: All existing mailboxes shall be USPS cluster boxes in the number being replaced. Contractor shall include all necessary items, including concrete footing, for a complete operational installation.
- Item 13: Remove existing AC paving at Smith Street between Gay Street and the last parking lot to the south and replace with new paving per City Standards. Paving shall have a rolled edge along east side adjacent to natural grade. Align with existing concrete paving and v-gutters. Contractor shall be responsible for obtaining all necessary permits.
- Item 14: Contractor shall make allowance for 2,500 sf of new artificial turf and 80 lf of 6" concrete curb at Common Area per sheet SI-5.0
- Item 15: Contractor shall include an allowance to remove and replace 9,000 sf of concrete walkways and driveways. Allowance shall include itemized cost/sf for replacement for each condition.
- Item 16: All existing dormer vents shall be replaced with new galvanized aluminum vents to match size and configuration of existing.

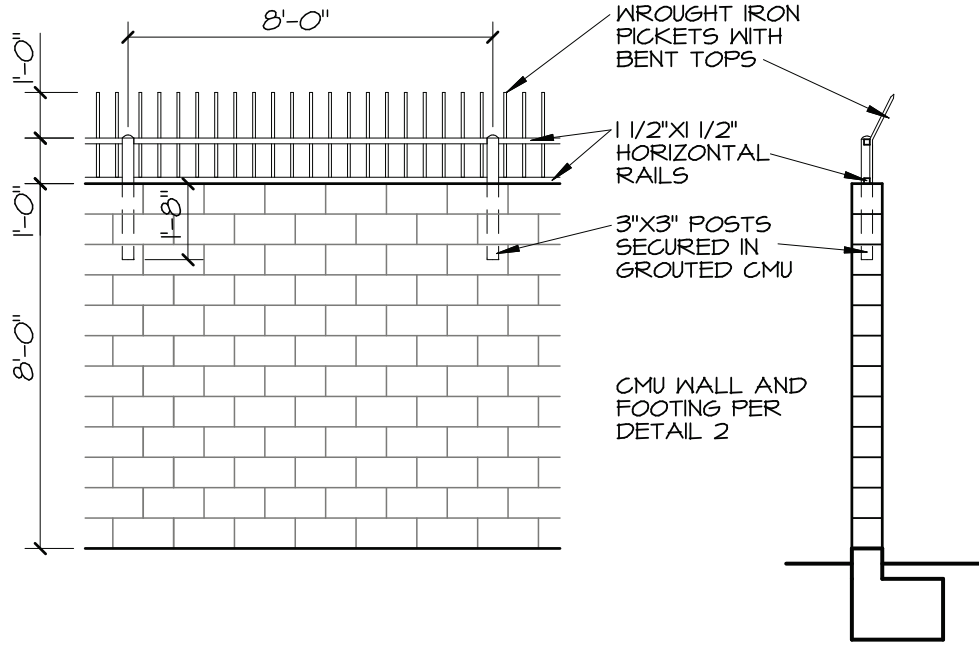
#### Unit Improvements

- Item 1: All roof top HVAC units shall be relocated to back side of roof to minimize exposure to the front. Infill existing openings with new rafters and sheathing to match and align with existing. Block out for new location as required.
- Item 2: Provide a minimum of (2) new dormer vents on each side of duplex demising walls in addition to vents shown on plans.
- Item 3: Remove existing rain gutters and downspouts to accommodate restoration. Install new painted aluminum rain gutters and downspouts at entry porches. Add diverter at back door.
- Item 4: All countertops shall be solid surface and have a 1 1/2" water fall edge with beveled/eased corner.
- Item 5: All kitchen back splashes shall be full height Emser "Catch" 'Ice' 3x6 ceramic tile extended to upper cabinets and exhaust fans in lieu of solid surface to match counters.
- Item 6: All exterior doors from conditioned spaces shall have screen doors per the plans and shall have matching door locksets and dead bolts.
- Item 7: Door hardware at water heater closets shall match hardware noted for exterior entry doors.
- Item 8: All windows, except bathroom windows, shall have 2" fauxwood horizontal blinds by "Jordan Taylor".
- Item 9: All existing dryer vents shall be removed and replaced with new.
- Item 10: Hood over kitchen range and over-the-range microwave shall utilize non-vented ductless options
- Item 11: It is the intent of the mechanical plan to replace all existing supply air ducting and registers with new. Return air ducting and registers shall be replaced where existing. If not existing, new return air ducting is not required.
- Item 12: All exposed exterior wood fascias and trim shall be patched, repaired and painted. Painting shall include all overhangs.
- Item 13: Contractor shall provide new 7"x12" black powder coated aluminum low voltage LED unit numbers by 'Generational Lighting' or equal.

- Item 14: Replacement for all roofing shall be Eagle Lite Concrete Tiles listed at 5.7 psf per roofing notes. Delete all references (keynotes) to new asphalt shingles.
- Item 15: All exposed exterior cement plaster and wood shall be patched, repaired or replaced for a like-new condition, and repainted.
- Item 16: Exterior elevation clarifications shall be as follows:
- a. Unit A / Elevation A: Cement plaster shall be removed for replacement with "Hardi Plank" siding wainscot as shown. Install 1x3 pressure treated furring strips vertically at 24" o.c. over moisture barrier at existing CMU wall to attached siding. Install standard 1x trim and flashing at transition between existing cement plaster and new siding and at weep screed.
  - b. All existing finishes shall remain and be patched repaired and painted. Existing brick shall not be painted. Graphic representation of existing exterior finishes shall take precedence over elevation keynotes.

Attachments: Diagram 1

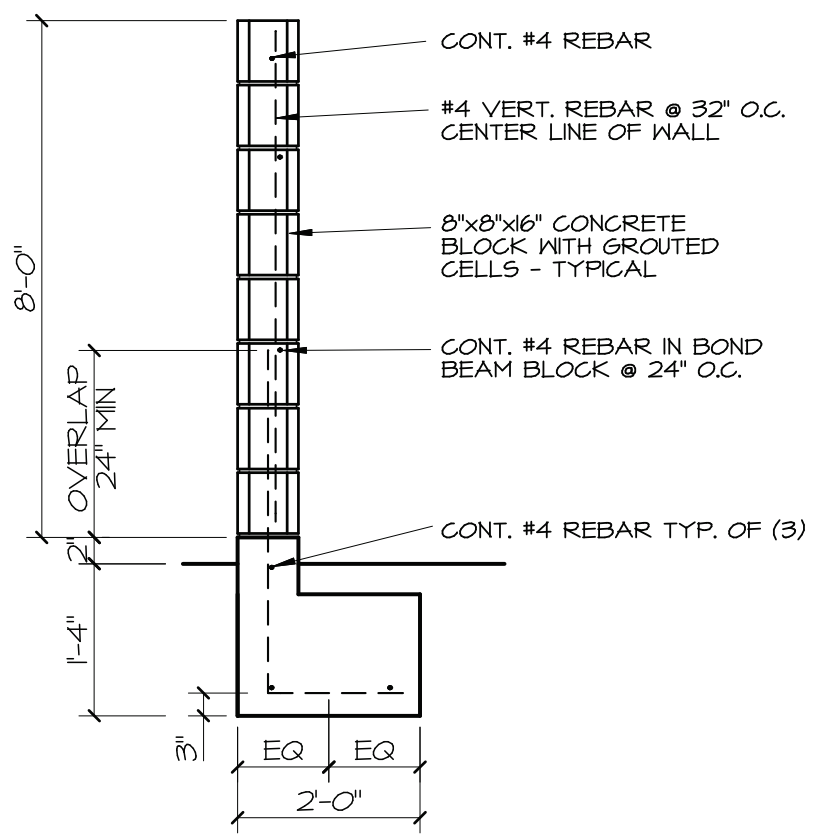
END OF ADDENDUM



1

WROUGHT IRON ON BLOCK WALL

NS



2

BLOCK WALL AT PROPERTY LINE

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