



April 10, 2026

ADDENDUM NO: 2

Projects: Little Village RAD Modernization and Site Improvements

The following items are in reference to and shall be made part of the plans issued for bid and previous addendum for the Little Village RAD improvements. Any discrepancies between this information and the issued plans shall be reported to the Architect for additional clarification.

General

- Item 1: Bid date will be extended as follows: 10:00 am on 4-30-26
- Item 2: See attached revised Bid Form
- Item 2: Asbestos-Containing Assumption:
If the building sampled contained no asbestos, contractors are to assume there is no asbestos removal required in any of the units within that building. If a building tested positive for asbestos, contractors shall assume there is asbestos in each of the units within that building per the asbestos report.
- Item 3: Asbestos Monitoring and Clearance Responsibility:
Contractor will be responsible for the daily asbestos monitoring and final asbestos air clearances for all units being remodeled.

Site Improvements

- Item 1: See Addendum No. 1, Site Improvements, Item 11:
Block wall separating project site from railroad tracks shall be per keynote 6. Omit reference to Keynote 20. Details 1 & 2 per attached Diagram 1 of this addendum shall replace details 1 & per Addendum No. 1.
- Item 2: The following specifications shall supersede those listed in Keynote 11 for the new wrought iron fencing: Pickets to be $\frac{3}{4}$ " square x 16 gauge x 94" pre-galvanized spaced at 4.75" o.c. Posts to be 1 $\frac{1}{2}$ " square x 14 gauge pre-galvanized
- Item 3: See Diagram 2 for additional areas of existing grass or natural grade to be replaced with artificial turf per plan specifications and details. New turf area is approximately 23,000 sf. The exact area shall be field verified by contractor.
- Item 4: See attached Diagram 3 for new common area and site improvements in the area west of Jastro Avenue and north of Feliz Drive.
- Item 5: All artificial turf should be bounded by concrete walk, driveway or 6"x6" curb per detail whether graphically shown on plans or not.

Unit Improvements

- Item 1: Replace all existing electrical panels and breakers.
- Item 2: Areas shown on the Title Sheet are building totals which include areas of both units where occur. Approximate areas for individual unit areas are as follows:
Type 'A' units: 570 sf each

Type 'B' units: 729 sf each
Type 'C' first and second floor total: 920 sf each unit
Type 'D' units: 948 sf / 912 sf
Type 'D1' units: 758 sf / 1,097 sf
Type 'E' unit: 1,120 sf
Office: 1,626 sf

- Item 3: Mechanical plans specify each individual duplex unit to receive a new 2-ton unit. Contractor shall be responsible for sizing new HVAC units accordingly.
- Item 4: Roof top units shall be "Comfortmaker" PHB5 'Quiet Comfort 15' 2-stage packaged heat pump roof mounted units or equal with minimum 15.2 SEER2 and 11.5 EER2. Contractor shall change the stat wire as required and cap the existing gas line.
- Item 5: Contractor shall be responsible for generating and permitting final solar plans based on final roof configuration and penetrations.
- Item 6: Contractor shall be responsible for removal and replacement of drywall for all plumbing, mechanical and electrical revisions in addition to all other proposed and necessary changes required to complete the scope of work. All drywall shall be retextured per plans.
- Item 7: Replace all existing interior and exterior load centers with new equipment. Existing feeder conductors from the utility meter and main service disconnect shall be reused where suitable. All new load centers shall be a minimum of 24-circuit capacity with provisions to expand up to 48 circuits through the use of approved tandem (twin) breakers. All existing multi-wire branch circuits shall be replaced with new dedicated homerun circuits to ensure full compatibility with Arc Fault Circuit Interrupter (AFCI) and combination AFCI/GFCI circuit breakers. Each new load center will be equipped with a properly rated and approved Surge Protection Device (SPD) to safeguard the electrical system from transient voltage surges. Provide combination-type Arc Fault Circuit Interrupter (AFCI) protection for all applicable branch circuits supplying outlets located in dwelling unit areas including, but not limited to, family rooms, dining rooms, living rooms, bedrooms, dens, hallways, closets, and similar spaces, in accordance with NEC Article 210.12.

Attachments: Diagram 1: Revised 8'-0" block wall detail at property line
Revised sheet SI-03 dated 4-10-26
Revised sheet SI-01 dated 4-10-26
Revised Bid Form

END OF ADDENDUM

REVISED – BID FORM

PROJECT: Little Village RAD Improvements

SITE ADDRESS: 714 Smith Street, Bakersfield, California

BID OF: _____
(Contractor's Name)

BID AGREEMENT: The undersigned has examined all Bid Documents and acknowledging all addendum/addenda as follows: **Addendum #(s)** _____

Contractor shall execute the entire Scope of Work as described in this Invitation for Bids for the price indicated in this bid.

COMMENCEMENT AND SUBSTANTIAL COMPLETION: Project Commencement will occur when the contract is awarded by Little Village RAD LP. The Contractor shall not incur any expense until the contract has been awarded. The Contractor shall not make any equipment purchases or begin construction work until receiving a Notice to Proceed.

All work shall be substantially completed (as evidence by the date on the CERTIFICATE OF SUBSTANTIAL COMPLETION), subject to adjustments as provided in the Contract documents. The undersigned further agrees, if awarded the contract, to substantially complete the scope of work within **Six Hundred (600)** consecutive calendar days from the date of Notice to Proceed.

Bid holding time and acceptance: The undersigned agrees that this bid may not be revoked or withdrawn after the time set for the opening of bids, but shall remain open for acceptance for a period of sixty (60) days following the bid due date.

BID AMOUNT: The total price shall be listed below, and should be broken out into the categories given. The prices must reflect the entire cost to complete the scope of work detailed in the Drawings and Specifications, must be firm and fixed, and shall include all costs for successful improvements including, but not limited to, charges for labor, materials, equipment, fees, disposal fees, permitting, taxes, insurance, bonding, and overhead and profit.

BASE BID:

_____ Dollars (\$ _____)

Authorized Signature: _____ Date: _____

Print Name & Title: _____

Address: _____

License No: _____ Exp. Date: _____

MUST BE SUBMITTED WITH BID

Little Village RAD Improvements

ALTERNATE BIDS

Alternate Bid -1: Deductive to Base Bid (Omit the installation of artificial turf)
_____ Dollars (\$_____)

Alternate Bid -2: Deductive to Base Bid (Provide and install 30-year Architectural shingle in lieu of tile roofing)
_____ Dollars (\$_____)

Alternate Bid -3: Deductive to Base Bid (8' masonry/wrought iron fencing along railroad tracks)
_____ Dollars (\$_____)

Alternate Bid -4: Deductive to Base Bid (Full height ceramic tile back splash)
_____ Dollars (\$_____)

Alternate Bid -5: Deductive to Base Bid (Solar)
_____ Dollars (\$_____)

UNIT COST BIDS

Unit Cost -A: Replacement of Damaged Sheathing (1 sheet, 32 sq. ft.)
_____ Dollars (\$_____)

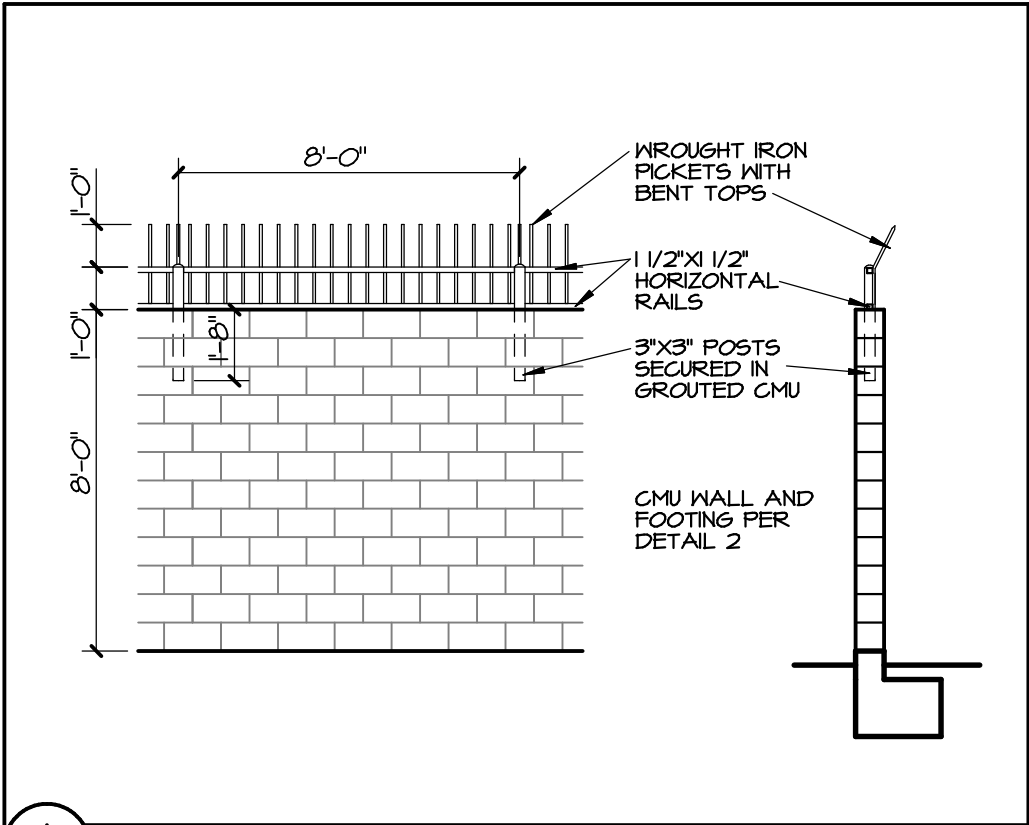
Unit Cost -B: Replacement of Damaged Fascia (lineal foot)
_____ Dollars (\$_____)

Unit Cost -C: Replacement of Damaged Sewer Main (lineal foot)
_____ Dollars (\$_____)

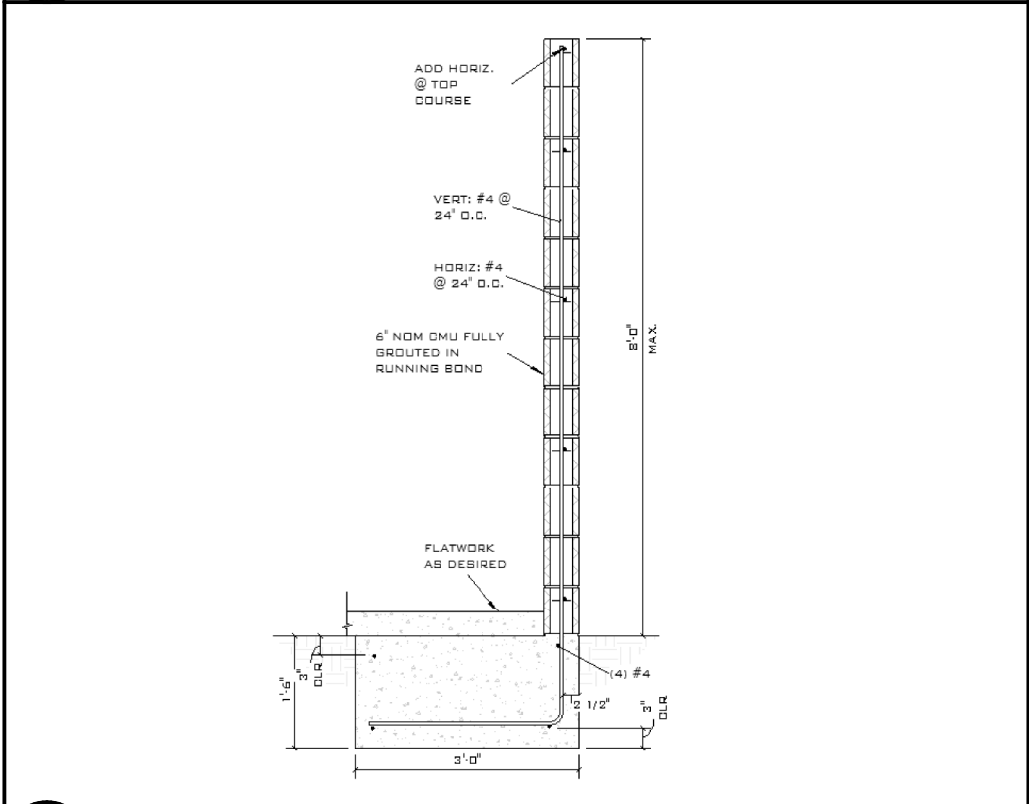
Unit Cost -D: Replacement of Damaged Concrete Slab (sq. ft.)
_____ Dollars (\$_____)

Unit Cost -E: Replacement of Damaged Concrete Flat Work (sq. ft.)
_____ Dollars (\$_____)

MUST BE SUBMITTED WITH BID

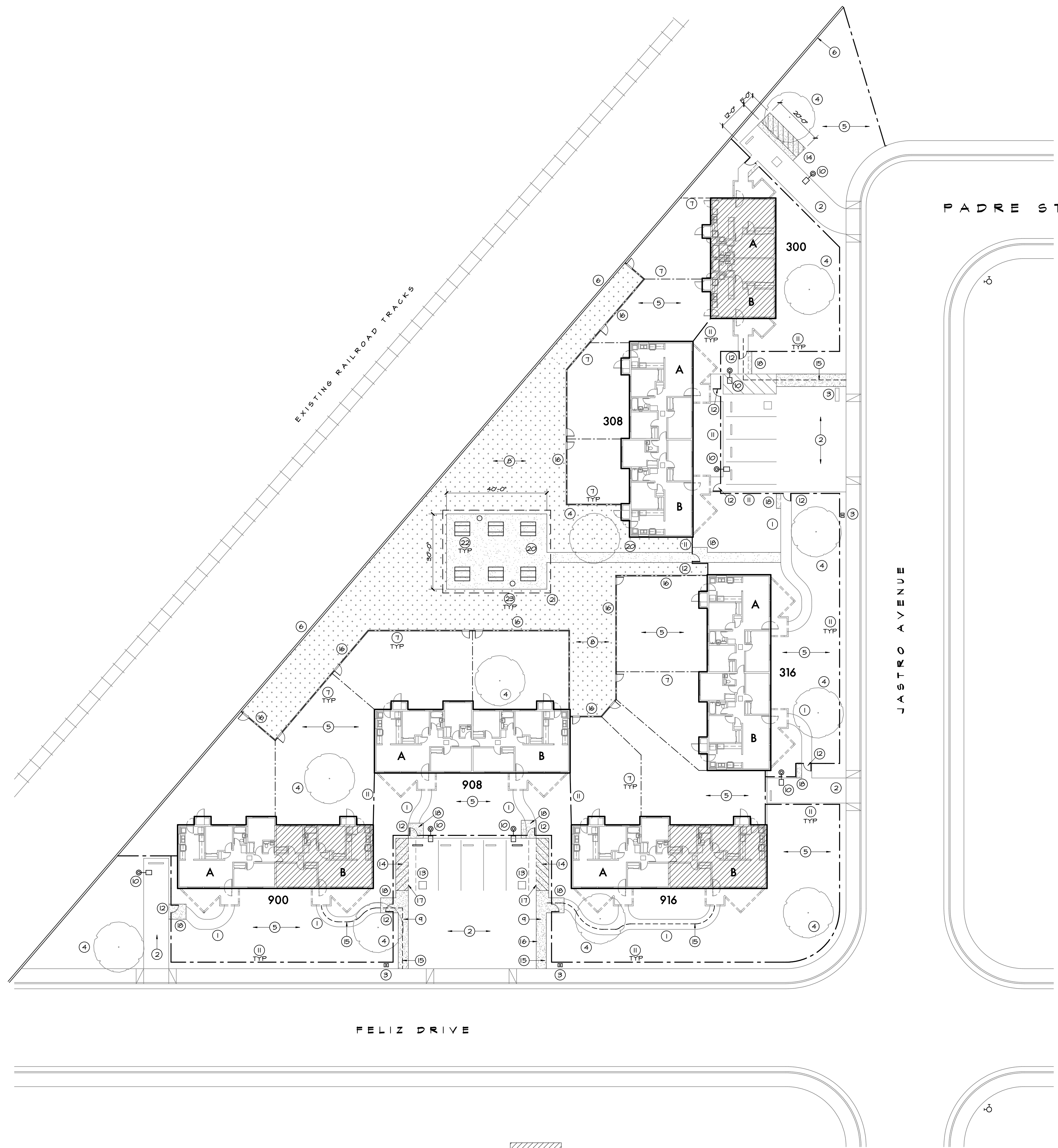


1 WROUGHT IRON ON BLOCK WALL NS



2 BLOCK WALL AT PROPERTY LINE NS

DIAGRAM 1
Little Village Addendum No. 2



PROPOSED MOBILITY UNIT

ENLARGED SITE 'A'

20'

KEY NOTES

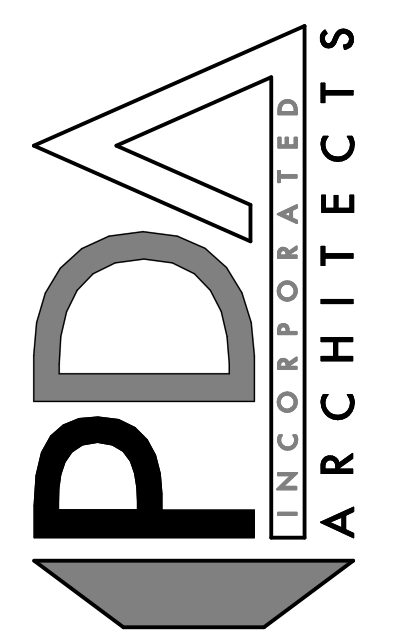
- 1 EXISTING CONCRETE WALK TO REMAIN
- 2 EXISTING CONCRETE DRIVEWAY AND PARKING STALLS WHERE OCCUR - REMOVE AND REPLACE ALL UNEVEN AND DAMAGED AREA
- 3 NEW CLUSTER MAIL BOXES PER US POSTAL SERVICE STANDARDS
- 4 APPROXIMATE LOCATION OF EXISTING TREE
- 5 EXISTING LAWN AREA TO REMAIN
- 6 APPROXIMATE LOCATION OF EXISTING 4'-6" WROUGHT IRON FENCE TO BE REMOVED - INSTALL NEW 8'-0" TALL CMU WALL WITH PAINTED 2'-0" HIGH WROUGHT IRON FENCE WITH BENT TOPS
- 7 EXISTING CHAIN LINK FENCE TO BE REMOVED AND REPLACED WITH NEW 6'-0" CHAIN LINK FENCE
- 8 HATCHED AREA DENOTES EXISTING LAWN AREA TO BE REMOVED - INSTALL NEW ARTIFICIAL TURF - ALL EDGES SHALL BE BOUNDED BY EXISTING OR NEW MALKWAY OR NEW 6"x6" CONCRETE CURB PER TURF DETAILS
- 9 NEW 48" MINIMUM WIDE CONCRETE WALK TO MATCH AND ALIGN WITH EXISTING FLOOR CONDITION AT PARKING AND DOOR LANDING - REMOVE EXISTING LANDSCAPING AND RELOCATE IRRIGATION AS REQUIRED TO ACCOMMODATE NEW IMPROVEMENTS
- 10 NEW LUCE SOLARE SOLAR POWERED POLE LIGHT AND CONCRETE BASE
- 11 DASHED LINE DENOTES NEW PAINTED WROUGHT IRON FENCE WITH 3" SQUARE POSTS AT 8'-0" O.C., 3/4" SQUARE PICKETS AND 1/2" TOP AND BOTTOM HORIZONTALS RAILS - PICKETS SHALL BE 7'-0" TALL WITH BENT TOP SPEARS - INSTALL POSTS 42" DEEP IN 1/2" x 4" FOOTING - PROVIDE ENOUGH CLEARANCE FROM TREES TO AVOID ANY ROOT DAMAGE
- 12 NEW 36" WIDE PAINTED WROUGHT IRON GATE WITH 3" SQUARE POSTS, 3/4" SQUARE PICKETS AND 1/2" TOP AND BOTTOM HORIZONTALS RAILS WITH BENT TOP - INSTALL 24 GAUGE PERFORATED PAINTED STEEL MESH ON GATE EACH SIDE OF GATE - GATES SHALL HAVE VAN DUPRIN 40/482L BE GATE EXIT DEVICE
- 13 NEW 12'-0" x 20'-0" ACCESSIBLE PARKING STALL WITH 3'-0" x 3'-0" PAINTED STEEL SIGN AND 10 SQ IN POLE MOUNTED PARKING SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH AN ADDITIONAL SIGN OR LANGUAGE STATING "MINIMUM FINE \$250.00" INCLUDE SIGN MOUNTED BELOW STATING "VAN ACCESSIBLE" WHERE APPROPRIATE PER CBC SECTION 122B-80" MINIMUM HEIGHT TO THE BOTTOM OF ALL POLE SIGNS
- 14 NEW 5'-0" WIDE ACCESSIBLE PARKING ACCESS AISLE WITH THE WORDS "NO PARKING" IN 1/2" HIGH CONTRASTING LETTERS - SLOPE NOT TO EXCEED 1/4" 12"
- 15 LINE DENOTES 4'-0" MINIMUM ACCESSIBLE ROUTE TO THE PUBLIC HWY AND ACCESSIBLE PARKING SPACES - SLOPE SHALL NOT EXCEED 2% CROSS - SLOPE SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL, COMPLYING WITH CBC - REPLACE ALL DAMAGED AND UNEVEN SURFACES
- 16 NEW 6" CONCRETE CURB
- 17 DASHED LINE DENOTES EXISTING EDGE OF LANDSCAPE TO BE REMOVED AND REPLACE WITH NEW CONCRETE PAVING TO MATCH AND ALIGN WITH EXISTING CONCRETE DRIVEWAY - RE-STRIP PARKING AND INSTALL NEW CONCRETE CURBS AS REQUIRED - RELOCATE EXISTING BOLLARDS AS NEEDED AND REPAINT
- 18 NEW 6"x6" CONCRETE LANDING ON PULL SIDE OF GATE-TYPICAL
- 19 EXISTING PARKING STALLS - REMOVE AND REPLACE CONCRETE WHEEL STOPS
- 20 NEW 4'-0" WIDE CONCRETE WALK AND SLAB
- 21 GENERAL CONTRACTOR SHALL PROVIDE DESIGN, ENGINEERING AND PERMITS AND ALL COMPONENTS REQUIRED FOR A 33'x 44'x 12' HIGH COMMERCIAL GRADE CANVAS CANOPY
- 22 "GLOBAL INDUSTRIES" 6'-0" RECTANGULAR EXPANDED METAL PICNIC TABLE
- 23 NEW 24" DIAMETER x 34" TALL 32 GALLON THERMOPLASTIC COVERED 4 GAUGE EXPANDED METAL TRASH CAN WITH FUNNEL LID BY "ULINE" MODEL: 14-22458L OR EQUAL-TYPICAL 2

GATE NOTES

- 1 EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
- 2 MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 9 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH FORCE BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND CENTER PLANE OF SLIDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOORS MAY BE USED TO MEET REQUIREMENTS
- 3 FLOOR LEVEL LANDINGS ARE REQUIRED AT EACH SIDE OF DOOR

NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY EXTENT AND EXACT CONFIGURATION OF ALL NEW AND EXISTING FENCINGS TO REMAIN
- 2 ALL EXISTING AND RECONFIGURED PARKING SHALLS SHALL BE RESTRIPED
- 3 ALL EXISTING BOLLARDS TO REMAIN - REMOVE IF CONFLICT WITH PROPOSED CONSTRUCTION OR MODIFICATIONS
- 4 ALL EXISTING T-POST CLOTHES HANGER SUPPORTS SHALL REMAIN - REPLACE ALL CLOTHES WIRES WITH NEW TO MATCH EXISTING
- 5 ALL WHEEL STOPS ON SITE SHALL BE REMOVED AND REPLACE WITH NEW TO MATCH - FIELD VERIFY
- 6 ALL TREES SHALL BE TRIMMED



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NOTICE TO CONTRACTORS: Under penalty of law, contractor shall not proceed with any work until the contractor has verified the accuracy of the contract documents and shall not be held responsible for any errors or omissions in the contract documents or any discrepancies or their variations discovered.

**LITTLE VILLAGE
MODERNIZATION
& REHABILITATION**

**SITE 'A'
IMPROVMENTS**

BAKERSFIELD, CA

DATE	ISSUED FOR
3-16-20	BUILDING DEPT REVIEW
4-10-20	ADDENDUM 2

NO.	REVISIONS

PARTIAL
SITE PLAN - A

FILE NAME: 434851-1.0
SHEET

SI-1.0